

CAO COPY

C (37)

APN: 178-29-413-001; 178-31-515-001;
178-31-619-001; 002, 178-31-720-001;
178-32-111-001, 002, 004;
178-32-211-001, 002, 003, 004;
178-32-316-001; 178-32-711-001;
178-32-811-001

Inst #: 20160229-0001645
Fees: \$53.00
N/C Fee: \$25.00
02/29/2016 11:03:34 AM
Receipt #: 2695863
Requestor:
HENDERSON CITY
Recorded By: GLORD Pgs: 37
DEBBIE CONWAY
CLARK COUNTY RECORDER

Type of document: Amendment to Perpetual Open Space Conservation Restriction

Recording requested by: City of Henderson

Return to: Property Management
240 Water Street, MS 134
PO Box 95050
Henderson, NV 89009-5050

This page added to provide additional information required by NRS 111.312 Sections 1-2 (Additional recording fee applies).

This cover page must be typed or printed clearly in black ink only.

AMENDMENT TO
PERPETUAL OPEN SPACE CONSERVATION RESTRICTION

THIS AMENDMENT TO PERPETUAL OPEN SPACE CONSERVATION RESTRICTION (“Amendment”) is made and entered into as of this 8th day of OCTOBER, 2015, by and among Frances R. MacDonald, Trustee of THE MACDONALD SENIOR TRUST OF 1987, Richard C. MacDonald, Trustee of the 42145 TRUST, CT NEVADA HOLDING COMPANY, a Nevada corporation, Trustee No. LV868529 (a real property title holding entity for the benefit of the owners therein identified), CT NEVADA HOLDING COMPANY, a Nevada corporation, Trustee No. LV868531 (a real property title holding entity for the benefit of the owners therein identified), and CT NEVADA HOLDING COMPANY, a Nevada corporation, Trustee No. LV868532 (a real property title holding entity for the benefit of the owners therein identified) (collectively, “Grantors”), and the City of Henderson (the “City”), a municipal corporation and political subdivision of the State of Nevada.

WITNESSETH:

WHEREAS, through that certain Grant, Bargain, Sale Deed and Perpetual Open Space Conservation Restriction dated July 20, 2005, and recorded in the real property records of Clark County, Nevada on September 2, 2009, in Book 20050902 as Instrument Number 0001275, and re-recorded on February 1, 2006 in Book 20060201 as Instrument Number 0002450, Grantor did grant and convey to the City the property described on Exhibit “A” thereto (the “Property”), subject to the Conservation Restriction set forth in the Deed (the “Conservation Restriction”); and

WHEREAS, the City owns all of the Property; and

WHEREAS, adjacent to the Conservation Restriction lies the development known as “The Canyons @ MacDonald Ranch” (the “Development”), which is being developed as a single-family residential community; and

WHEREAS, prior to the execution of the Conservation Restriction, the original developer of the Development had commenced construction on certain off-site improvements located within the Property, the plans for which are on file with the City and identified as KIVA Permit Number PCVL 2005870012 (the “Original Off-Site Improvements”), and, for the purpose of such construction, the City and the original developer entered into an agreement on or about May 4, 2005 (the “Original Off-Site Improvement Agreement”, attached hereto as Exhibit “B”); and

WHEREAS, the current owner of the Development is the successor in interest to the Original Off-Site Improvement Agreement (the “Developer”); and

WHEREAS, the Developer desires to resume construction of the Original Off-Site Improvements and also seeks to construct additional or alternative improvements in accordance with the Preliminary Plans (defined below), which may be located within the Property (collectively, the “Off-Site Improvements”); and

WHEREAS, the Developer has provided the City preliminary plans that, subject to minor changes required during the course of planning and construction, describe the scope and location of the Off-Site Improvements (“Preliminary Plans”, attached hereto as Exhibit “C”); and

WHEREAS, the Off-Site Improvements will have a de minimus effect on the Property and will not significantly detract from the scenic enjoyment of the general public and the general purpose of the Conservation Restriction; and

WHEREAS, the Grantor and the City desire to amend the Conservation Restriction to accommodate the construction of the Off-Site Improvements and to provide procedures for amending the Conservation Restriction in the future.

NOW THEREFORE, in consideration of the mutual rights and benefits to be derived by the parties hereto, the Grantors and the City hereby amend the Conservation Restriction as follows:

A. The paragraph with the heading “Uses” shall be amended and replaced with the following:

“Uses: The topographical uniqueness of the Property must always be preserved to distinguish and contrast the Property from the development of property in the vicinity of the Property and to preserve its natural scenic character consistent with public (federal, state, county and local) and private conservation programs in the Southern Nevada region. The Property shall always be held in such a manner that its scenic character will not be degraded, that the general public will be able to visually appreciate its scenic value, and that the degree of contrast and variety provided by the visual scene of the Property will be maintained in relief from encroaching urbanization. The Property shall be operated and managed consistent with the foregoing in accordance with the City of Henderson’s Open Space Plan. Notwithstanding and without limitation to any other provision hereof, nothing herein shall prevent the construction of the Off-Site Improvements.”

B. The paragraph with the heading “Limitations and Prohibitions” shall be amended and replaced with the following:

“Limitations and Prohibitions: The Property shall never be parceled, subdivided or developed into lots for any industrial, commercial or residential use. Other than the construction, installation or placement of trails, walkways, paths, indigenous landscaping, benches, tables and other limited recreational facilities designed to afford the general public an opportunity to appreciate the uniqueness of the Property, no billboards, signs (other than small trail directional

EXHIBIT "A"

20060201-0002450

APN: 178-29-412-002, 178-31-513-005,
178-31-697-003, 178-31-719-001,
178-32-110-002, 178-32-297-001,
178-32-314-002, 178-32-710-001,
178-32-810-002

19

Fee: \$0.00 RPTT: EX#003
N/C Fee: \$0.00

02/01/2006 12:07:03
T20060019683

Requestor:
HENDERSON CITY

Frances Deane SOL
Clark County Recorder Pgs: 19

Type of Document:

RE-RECORDED

**Re-record Grant, Bargain, Sale Deed and Perpetual Open Space
Conservation Restriction Document No. 20050902:01275 to
correct legal description.**

Recording requested by:

City of Henderson

Return to:

Property Management
240 Water Street, MS 134
PO Box 95050
Henderson, NV 89009-5050

This page added to provide additional information required by NRS 111.312 Sections 1-2
(Additional recording fee applies).

This cover page must be typed or printed clearly in black ink only.

20050902-0001275

Fee: \$0.00 RPTT: EX#002
N/C Fee: \$0.00

09/02/2005 09:39:31
T20050161399

Requestor:
CHICAGO TITLE

Frances Deane ADF
Clark County Recorder Pgs: 16

Part of APNs 178-32-110-002, 003 & 004
178-32-210-005, 006 & 007
178-32-314-002
178-32-710-001
178-32-810-001 & 002
178-31-513-005
178-31-616-003
178-31-719-001
178-29-412-002 & 004
178-31-697-003
178-32-297-001

[Handwritten scribble]

RPTT Exempt - NRS 375.090.2
Exempt - #2

Grantee's address

CITY OF HENDERSON
Property Management
240 Water Street
Henderson, Nevada 89015

[Handwritten initials "JD" in a circle]

~~Recorded at the request of~~
and when recorded return to:

*RP-001-06
CC accepted 2/21/06*

Liza E. Conroy, Assistant City Attorney
City of Henderson
240 Water Street, MSC 144
Henderson, Nevada 89009

**GRANT, BARGAIN, SALE DEED
AND
PERPETUAL OPEN SPACE CONSERVATION RESTRICTION**

Richard MacDonald and Francis R. MacDonald, Trustees of THE MACDONALD SENIOR TRUST OF 1987, Richard C. MacDonald, Trustee of 42145 TRUST, CT NEVADA HOLDING COMPANY, a Nevada corporation, Trustee No. LV868529 (a real property title holding entity for the benefit of the owners therein identified) CT NEVADA HOLDING COMPANY, a Nevada corporation, Trustee No. LV868531 (a real property title holding entity for the benefit of the owners therein identified), and CT NEVADA HOLDING COMPANY, a Nevada holding company, a Nevada corporation, Trustee No. LV868532 (a real property title holding entity for the benefit of the owners therein identified) (collectively "**Grantors**") hereby **GRANT, BARGAIN AND SELL** to the CITY OF HENDERSON, an incorporated political subdivision of the State of Nevada ("**City**") all of the real property, consisting of approximately four hundred nine and twenty-six one-hundredths (409.26) acres of unimproved land described in Exhibit A annexed to this Deed and, by this reference, incorporated herein ("**Property**").

TOGETHER WITH all singular and tenements, hereditaments, and appurtenances thereunto belonging or in anywise appertaining;

TO HAVE AND TO HOLD exclusively for conservation purposes as open space for the scenic enjoyment of the general public.

Conservation Restriction: The Property shall hereafter be subject to the following restrictive covenant (“**Conservation Restriction**”) to which the City, by accepting and recording this Deed, agrees:

THE PROPERTY SHALL ALWAYS BE, AND FOREVER REMAIN IN PERPETUITY, OPEN SPACE FOR THE SCENIC ENJOYMENT OF THE GENERAL PUBLIC AS A PUBLIC BENEFIT.

Uses: The topographical uniqueness of the Property must always be preserved to distinguish and contrast the Property from the development of property in the vicinity of the Property and to preserve its natural scenic character consistent with public (federal, state, county and local) and private conservation programs in the Southern Nevada region. The Property shall always be held in such a manner that its scenic character will not be degraded, that the general public will be able to visually appreciate its scenic value, and that the degree of contrast and variety provided by the visual scene of the Property will be maintained in relief from encroaching urbanization. The Property shall be operated and managed consistent with the foregoing in accordance with the City of Henderson’s Open Space Plan.

Limitations and Prohibitions: The Property shall never be parceled, subdivided or developed into lots for any industrial, commercial or residential use. Other than the construction, installation or placement of trails, walkways, paths, indigenous landscaping, benches, tables and other limited recreational facilities designed to afford the general public an opportunity to appreciate the uniqueness of the Property, no billboards, signs (other than small trail directional signs) or other outdoor advertising shall be installed or permitted to exist on the Property and no improvements shall be constructed, installed, placed or permitted to exist upon the Property. Further (i) no ashes, trash, rubbish, garbage or refuse, shall ever be dumped or permitted to exist on the Property; (ii) no excavation for mining, quarrying or other mineral extraction or any other purpose is permitted on the Property; (iii) no activity which would be considered noxious or offensive to the general public at large is permitted on the Property; and (iv) the natural topography of the Property shall not be disturbed (by clearing, bulldozing, grading, tilling, cultivating, filling, leveling or otherwise) except for limited development consistent with the Conservation Restriction.

Equitable Servitude: The Conservation Restriction is appurtenant to the Property and shall be construed to impose a perpetual equitable servitude thereon and the Property shall forever be burdened with the Conservation Restriction. The Conservation Restriction shall never be segregated from the Property or transferred except as an appurtenance of the Property. The City is hereby prohibited from hereafter transferring the Property or the Conservation Restriction to any other person, unless the City, as a condition of such transfer, requires that the Conservation Restriction is strictly observed to carry-out the intentions herein expressed.

No Reverter: The Conservation Restriction shall not be construed as creating a possibility of reverter and no provision hereof shall be interpreted to vest any of the Grantors with any reversionary right.

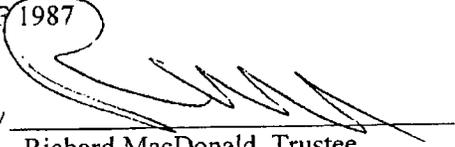
Enforcement: Considering the uniqueness of the Conservation Reservation, each and all of the Grantors shall have the right to equitably enforce the Conservation Reservation through an action for specific performance or an action for mandatory or prohibitory injunctive relief (temporary, preliminary or permanent).

DATED this 30 day of July, 2005.

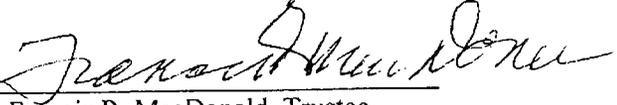
Grantors:

THE MACDONALD SENIOR TRUST
OF 1987

By


Richard MacDonald, Trustee

By


Francis R. MacDonald, Trustee

42145 TRUST

By


Richard C. MacDonald, Trustee

EXHIBIT "A"
LEGAL DESCRIPTION

The real property situated in a portion of Sections 29, 31 and 32 of Township 22 South, Range 62 East, M.D.M., City of Henderson, Clark County, Nevada, more particularly described as follows:

Being Open Space Lots 1 through 5 as shown on file in Book 128, Page 28 of Plats as recorded in the Official Records of the Clark County, Nevada Recorder's Office.

When Recorded, Mail To:
CITY OF HENDERSON
PROPERTY MANAGEMENT
240 WATER STREET
HENDERSON, NEVADA 89015

EXHIBIT "A"
LEGAL DESCRIPTION

THE REAL PROPERTY DESCRIBED HEREON IS SITUATED WITHIN A PORTION OF THE PLAT MAP ENTITLED "THE CANYONS", ON FILE IN BOOK 118 OF PLATS, PAGE 91, OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF CLARK, NEVADA. SITUATED IN A PORTION OF SECTIONS 29, 31 AND 32, TOWNSHIP 22 SOUTH, RANGE 62 EAST, M.D.M., CITY OF HENDERSON, COUNTY OF CLARK, STATE OF NEVADA, AND IS DESCRIBED AS FOLLOWS:

PARCEL I

A PORTION OF PARCEL G, AS SHOWN BY SAID MAP ENTITLED "THE CANYONS" ON FILE IN BOOK 118 OF PLATS, PAGE 91.

BEGINNING AT THE SOUTHEAST CORNER OF PARCEL G, THENCE ALONG THE SOUTH LINE OF PARCEL G THE FOLLOWING THREE (3) COURSES:

1. SOUTH 89°49'56" WEST A DISTANCE OF 761.23 FEET.
2. NORTH 52°57'12" WEST A DISTANCE OF 374.37 FEET.
3. NORTH 26°13'50" WEST A DISTANCE OF 403.79 FEET;

THENCE DEPARTING SAID SOUTH LINE, SOUTH 38°57'39" EAST A DISTANCE OF 379.06 FEET;

THENCE SOUTH 61°21'10" EAST A DISTANCE OF 329.16 FEET;

THENCE NORTH 89°57'24" EAST A DISTANCE OF 439.25 FEET;

THENCE NORTH 89°24'16" EAST A DISTANCE OF 272.18 FEET TO THE EAST LINE OF PARCEL G;

THENCE ALONG SAID EAST LINE, SOUTH 00°12'26" WEST A DISTANCE OF 136.81 FEET TO THE **POINT OF BEGINNING**. AS SHOWN ON EXHIBIT "B" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF.

AREA = 3.61 ACRES

PARCEL II

A PORTION OF PARCEL G, AS SHOWN BY SAID MAP ENTITLED "THE CANYONS" ON FILE IN BOOK 118 OF PLATS, PAGE 91.

BEGINNING AT THE SOUTHWEST CORNER OF PARCEL G, THENCE ALONG THE WEST LINE OF PARCEL G, NORTH 04°03'37" WEST A DISTANCE OF 110.58 FEET;

THENCE DEPARTING SAID WEST LINE, NORTH 84°23'46" EAST A DISTANCE OF 350.98 FEET;

THENCE SOUTH 54°09'26" EAST A DISTANCE OF 206.02 FEET;

THENCE SOUTH 00°00'00" EAST A DISTANCE OF 191.44 FEET;

THENCE SOUTH 75°48'00" EAST A DISTANCE OF 306.34 FEET;

THENCE SOUTH 81°16'53" EAST A DISTANCE OF 404.92 FEET;

THENCE SOUTH 61°10'44" EAST A DISTANCE OF 324.41 FEET TO AN ANGLE POINT IN THE SOUTH LINE OF PARCEL G;

THENCE ALONG THE SOUTH LINE OF PARCEL G THE FOLLOWING TWO (2) COURSES:

1. NORTH 74°35'26" WEST A DISTANCE OF 1124.11 FEET.
2. NORTH 68°17'26" WEST A DISTANCE OF 437.24 FEET TO THE **POINT OF BEGINNING.**

AS SHOWN ON EXHIBIT "C" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF.

AREA = 3.42 ACRES

PARCEL III

A PORTION OF PARCEL G, AS SHOWN BY SAID MAP ENTITLED "THE CANYONS" ON FILE IN BOOK 118 OF PLATS, PAGE 91.

BEGINNING AT THE NORTHEAST CORNER OF PARCEL G, THENCE ALONG THE EAST LINE OF PARCEL G, SOUTH 00°12'26" WEST A DISTANCE OF 410.18 FEET;

THENCE DEPARTING SAID EAST LINE, NORTH 89°47'34" WEST A DISTANCE OF 251.07 FEET;

THENCE SOUTH 68°06'00" WEST A DISTANCE OF 7.51 FEET TO AN ANGLE POINT IN THE BOUNDARY OF PARCEL G;

THENCE ALONG A BOUNDARY LINE OF PARCEL G, NORTH 07°56'40" EAST A DISTANCE OF 416.82 TO THE NORTH LINE OF PARCEL G;

THENCE ALONG THE NORTH LINE OF PARCEL G, SOUTH 89°47'18" EAST A DISTANCE OF 201.91 FEET TO THE **POINT OF BEGINNING.** AS SHOWN ON EXHIBIT "D" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF.

AREA = 2.16 ACRES

PARCEL IV

PARCEL Q AND COMMON ELEMENT LOT 1, AS SHOWN BY SAID MAP ENTITLED "THE CANYONS" ON FILE IN BOOK 118 OF PLATS, PAGE 91.

EXCEPT THAT PORTION OF PARCEL Q AND COMMON ELEMENT LOT 1 DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF PARCEL Q, THE SAME BEING A COMMON CORNER WITH PARCEL H.

THENCE ALONG THE NORTH LINE OF PARCEL Q, NORTH 61°06'31" WEST A DISTANCE OF 69.59 FEET TO THE **POINT OF BEGINNING.**

THENCE NORTH 61°06'31" WEST A DISTANCE OF 59.31 FEET;

THENCE NORTHWESTERLY, ALONG A CURVE CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 551.00 FEET THROUGH A CENTRAL ANGLE OF 18°56'32" AN ARC LENGTH OF 182.16 FEET TO WHICH A RADIAL LINE BEARS NORTH 47°50'02" EAST;

THENCE DEPARTING SAID NORTH LINE, SOUTH 11°37'14" WEST A DISTANCE OF 68.79 FEET;

THENCE SOUTH 09°29'44" WEST A DISTANCE OF 71.63 FEET;

THENCE SOUTH 15°21'21" WEST A DISTANCE OF 60.97 FEET;

THENCE SOUTH 27°25'22" WEST A DISTANCE OF 60.40 FEET;

THENCE SOUTH 08°14'58" WEST A DISTANCE OF 58.34 FEET;

THENCE SOUTH 10°12'26" EAST A DISTANCE OF 95.42 FEET;

THENCE SOUTH 18°40'04" EAST A DISTANCE OF 109.31 FEET;

THENCE SOUTH 16°25'17" EAST A DISTANCE OF 59.36 FEET;

THENCE SOUTH 04°27'37" EAST A DISTANCE OF 49.29 FEET;
THENCE SOUTH 00°47'48" WEST A DISTANCE OF 50.22 FEET;
THENCE SOUTH 04°11'12" WEST A DISTANCE OF 55.27 FEET;
THENCE SOUTH 02°50'35" WEST A DISTANCE OF 94.90 FEET;
THENCE SOUTH 02°38'09" EAST A DISTANCE OF 103.68 FEET;
THENCE SOUTH 03°19'08" WEST A DISTANCE OF 99.96 FEET;
THENCE SOUTH 09°17'05" WEST A DISTANCE OF 68.16 FEET;
THENCE SOUTH 05°39'01" WEST A DISTANCE OF 71.41 FEET;
THENCE SOUTH 18°36'35" WEST A DISTANCE OF 62.38 FEET;
THENCE SOUTH 06°20'34" WEST A DISTANCE OF 94.66 FEET;
THENCE SOUTH 13°11'03" EAST A DISTANCE OF 127.50 FEET;
THENCE SOUTH 28°28'10" EAST A DISTANCE OF 85.54 FEET;
THENCE SOUTH 19°41'27" EAST A DISTANCE OF 99.15 FEET;
THENCE SOUTH 10°06'32" EAST A DISTANCE OF 134.05 FEET;
THENCE SOUTH 32°15'36" EAST A DISTANCE OF 76.05 FEET;
THENCE SOUTH 88°28'31" EAST A DISTANCE OF 84.37 FEET;
THENCE NORTH 12°38'46" EAST A DISTANCE OF 140.17 FEET;
THENCE NORTH 18°41'26" EAST A DISTANCE OF 162.94 FEET;
THENCE NORTH 07°45'23" WEST A DISTANCE OF 67.59 FEET;
THENCE NORTH 08°59'07" WEST A DISTANCE OF 143.84 FEET;
THENCE NORTH 21°15'37" WEST A DISTANCE OF 149.41 FEET;
THENCE NORTH 06°49'38" WEST A DISTANCE OF 200.79 FEET;
THENCE NORTH 03°28'49" WEST A DISTANCE OF 196.34 FEET;
THENCE NORTH 06°36'09" WEST A DISTANCE OF 198.11 FEET;
THENCE NORTH 05°22'43" WEST A DISTANCE OF 138.85 FEET;
THENCE NORTH 19°11'09" WEST A DISTANCE OF 79.21 FEET;
THENCE NORTH 09°29'31" EAST A DISTANCE OF 82.61 FEET;
THENCE NORTH 35°36'18" EAST A DISTANCE OF 160.75 FEET TO THE POINT OF
BEGINNING, AS SHOWN ON EXHIBITS "E" AND "F" ATTACHED HERETO AND BY
REFERENCE MADE A PART HEREOF.
AREA OF EXCEPTION = 7.70 ACRES

PARCEL V
COMMON ELEMENT LOT 1, AS SHOWN BY SAID MAP ENTITLED "THE CANYONS" ON
FILE IN BOOK 118 OF PLATS, PAGE 91.
EXCEPT THAT PORTION OF COMMON ELEMENT LOT 1 DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF PARCEL Q, THE SAME BEING THE
WESTERLY CORNER OF PARCEL H, BEING A POINT OF NON-TANGENT CURVE TO
WHICH A RADIAL LINE BEARS, NORTH 60°12'46" WEST;
THENCE NORTHEASTERLY ALONG SAID CURVE AND THE NORTHWESTERLY LINE OF
PARCEL H, HAVING A RADIUS OF 617.00 FEET THROUGH A CENTRAL ANGLE OF
04°44'42" AN ARC LENGTH OF 51.10 FEET TO THE NORTHERLY RIGHT-OF-WAY OF
CANYON HIGHLANDS DRIVE;

THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. NORTH 61°06'31" WEST A DISTANCE OF 53.61 FEET TO THE POINT OF
BEGINNING.
2. NORTH 61°06'31" WEST A DISTANCE OF 78.20 FEET.

3. THENCE NORTHWESTERLY ALONG A CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 500.00 FEET THROUGH A CENTRAL ANGLE OF 03°02'04" AN ARC LENGTH OF 26.48 FEET TO WHICH A RADIAL LINE BEARS SOUTH 31°55'34" WEST.

THENCE DEPARTING SAID RIGHT-OF-WAY, NORTH 29°16'22" WEST A DISTANCE OF 43.58 FEET;

THENCE NORTH 08°53'34" WEST A DISTANCE OF 85.96 FEET;

THENCE NORTH 04°24'01" WEST A DISTANCE OF 104.55 FEET;

THENCE NORTH 35°00'23" EAST A DISTANCE OF 55.24 FEET;

THENCE SOUTH 56°41'14" EAST A DISTANCE OF 232.04 FEET;

THENCE SOUTH 25°02'52" WEST A DISTANCE OF 216.54 FEET TO THE POINT OF BEGINNING. AS SHOWN ON EXHIBIT "G" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF.

AREA OF EXCEPTION = 1.00 ACRE

PARCEL VI

COMMON ELEMENT LOT 2, AS SHOWN BY SAID MAP ENTITLED "THE CANYONS" ON FILE IN BOOK 118 OF PLATS, PAGE 91.

AREA = 9.69 ACRES

PARCEL VII

COMMON ELEMENT LOT 3, AS SHOWN BY SAID MAP ENTITLED "THE CANYONS" ON FILE IN BOOK 118 OF PLATS, PAGE 91.

AREA = 3.36 ACRES

PARCEL VIII

COMMON ELEMENT LOT 4, AS SHOWN BY SAID MAP ENTITLED "THE CANYONS" ON FILE IN BOOK 118 OF PLATS, PAGE 91.

AREA = 72.26 ACRES

PARCEL IX

COMMON ELEMENT LOT 5, AS SHOWN BY SAID MAP ENTITLED "THE CANYONS" ON FILE IN BOOK 118 OF PLATS, PAGE 91.

AREA = 15,411 SQUARE FEET = 0.35 ACRE

TOTAL AREA OF REAL PROPERTY BEING CONVEYED = 409.26 ACRES

PARCELS I, II & III DESCRIBED AS 9.19 ACRES - PORTION OF PARCEL G

PARCEL IV & V, DESCRIBED AS 8.70 ACRES FROM TOTAL AREA OF COMMON ELEMENT LOT 1 & PARCEL Q OF 323.11 ACRES = 314.41 ACRES

PARCEL VI = 9.69 ACRES - COMMON ELEMENT LOT 2

PARCEL VII = 3.36 ACRES - COMMON ELEMENT LOT 3

PARCEL VIII = 72.26 ACRES - COMMON ELEMENT LOT 4

PARCEL IX = 0.35 ACRE - COMMON ELEMENT LOT 5

7/12/05

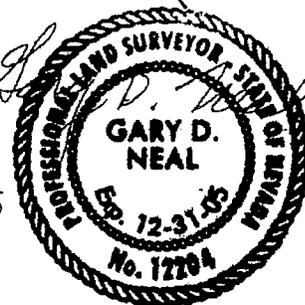


EXHIBIT "B"

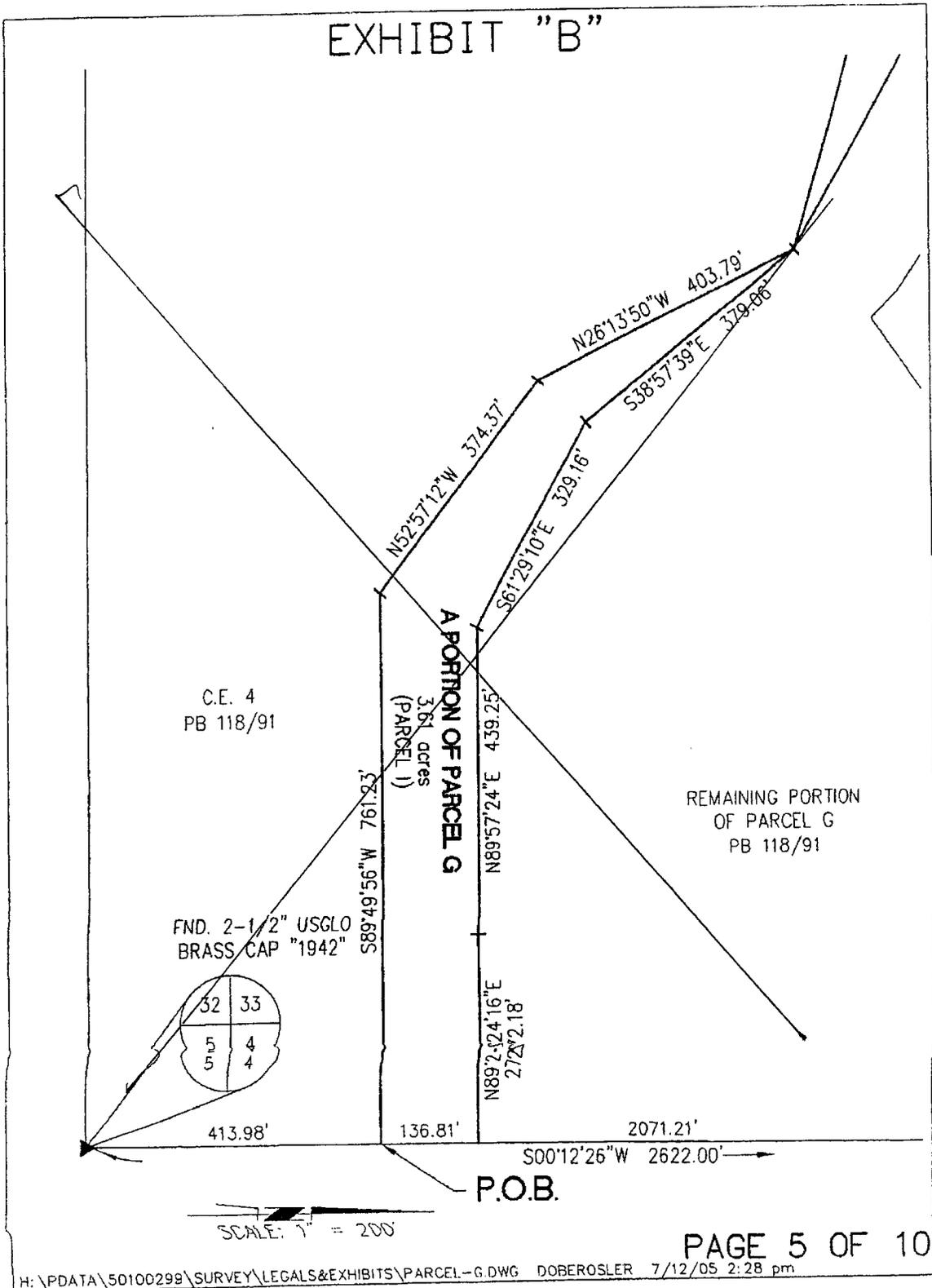


EXHIBIT "C"

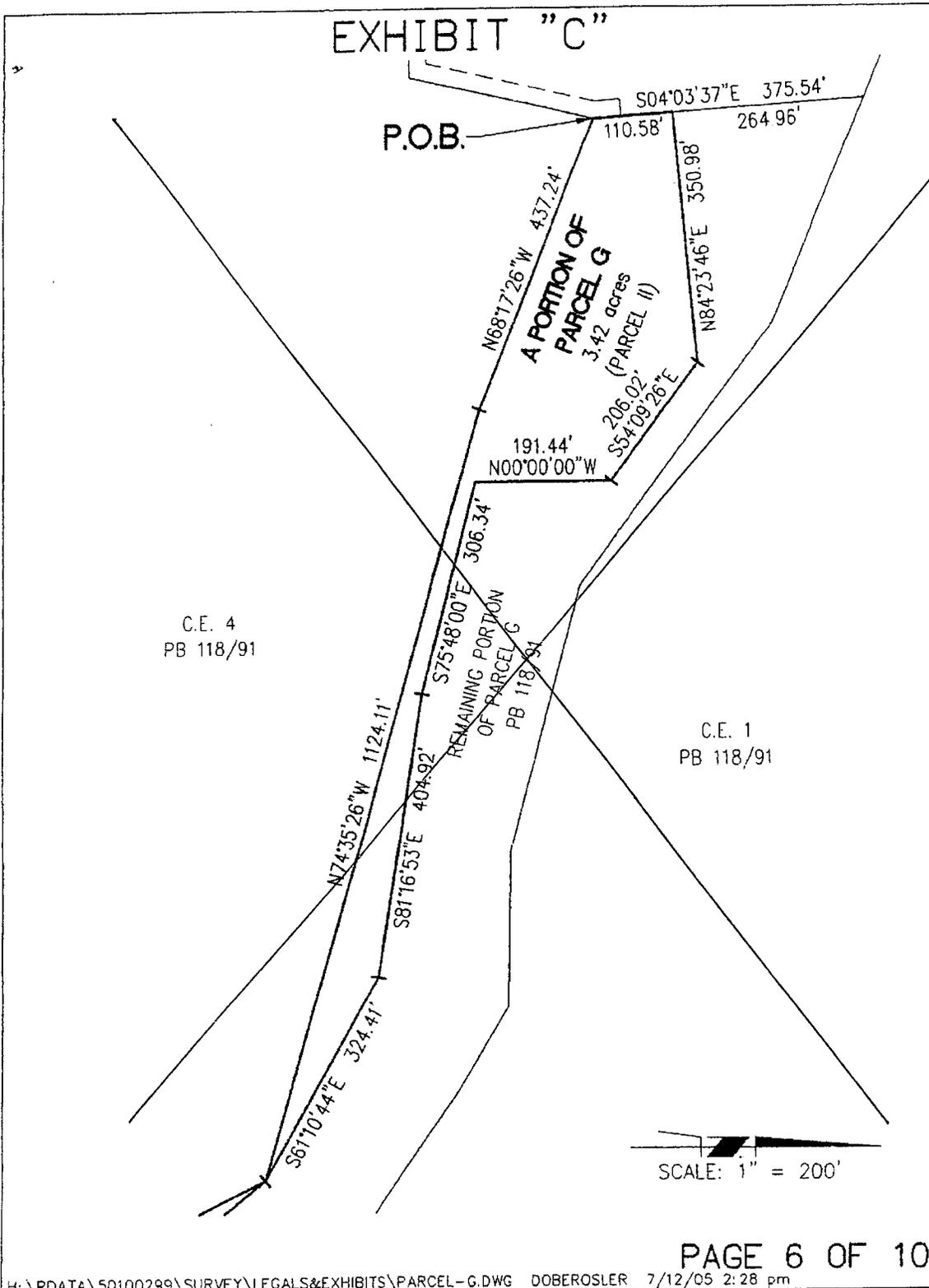


EXHIBIT "D"

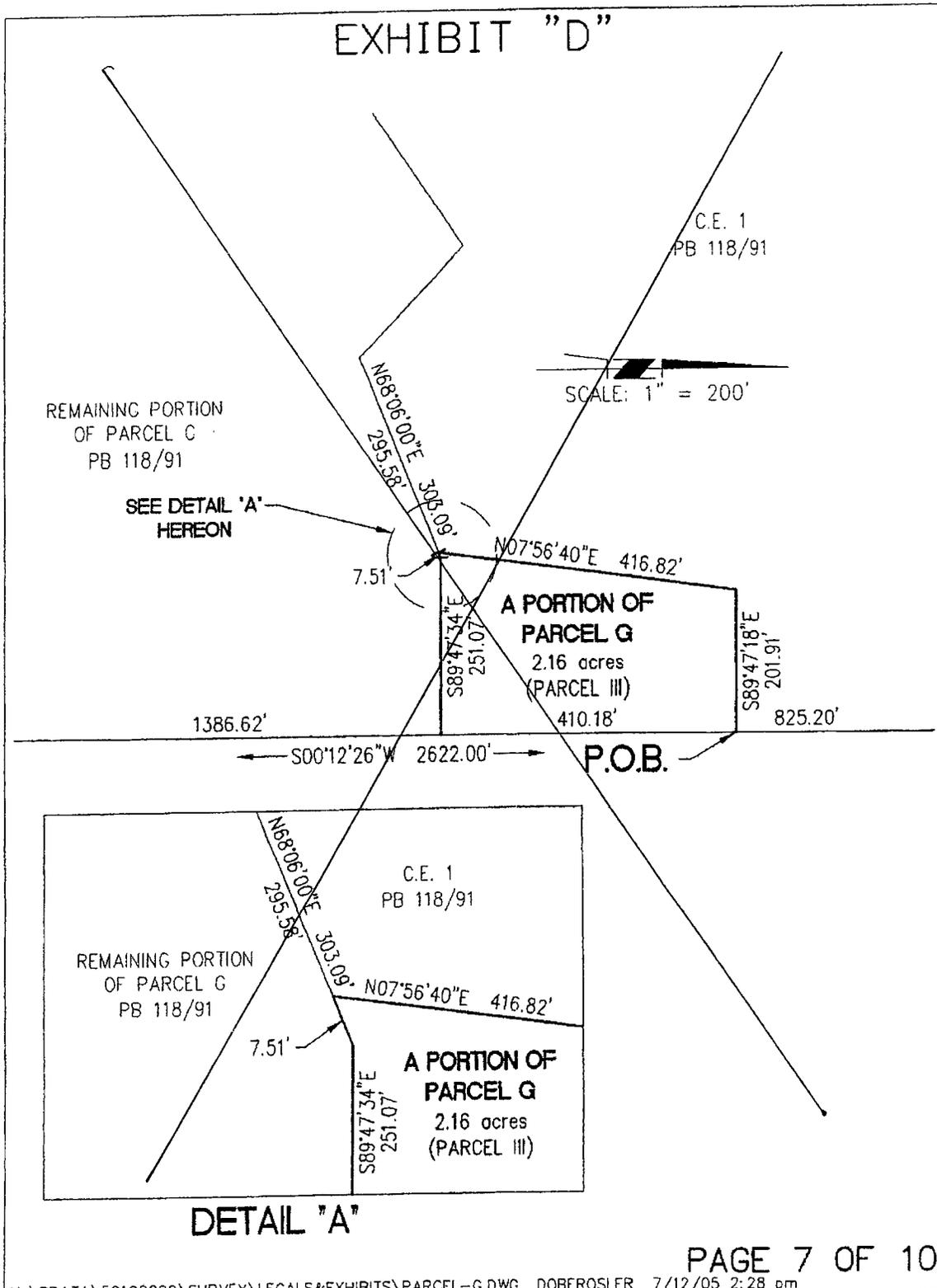


EXHIBIT "E"

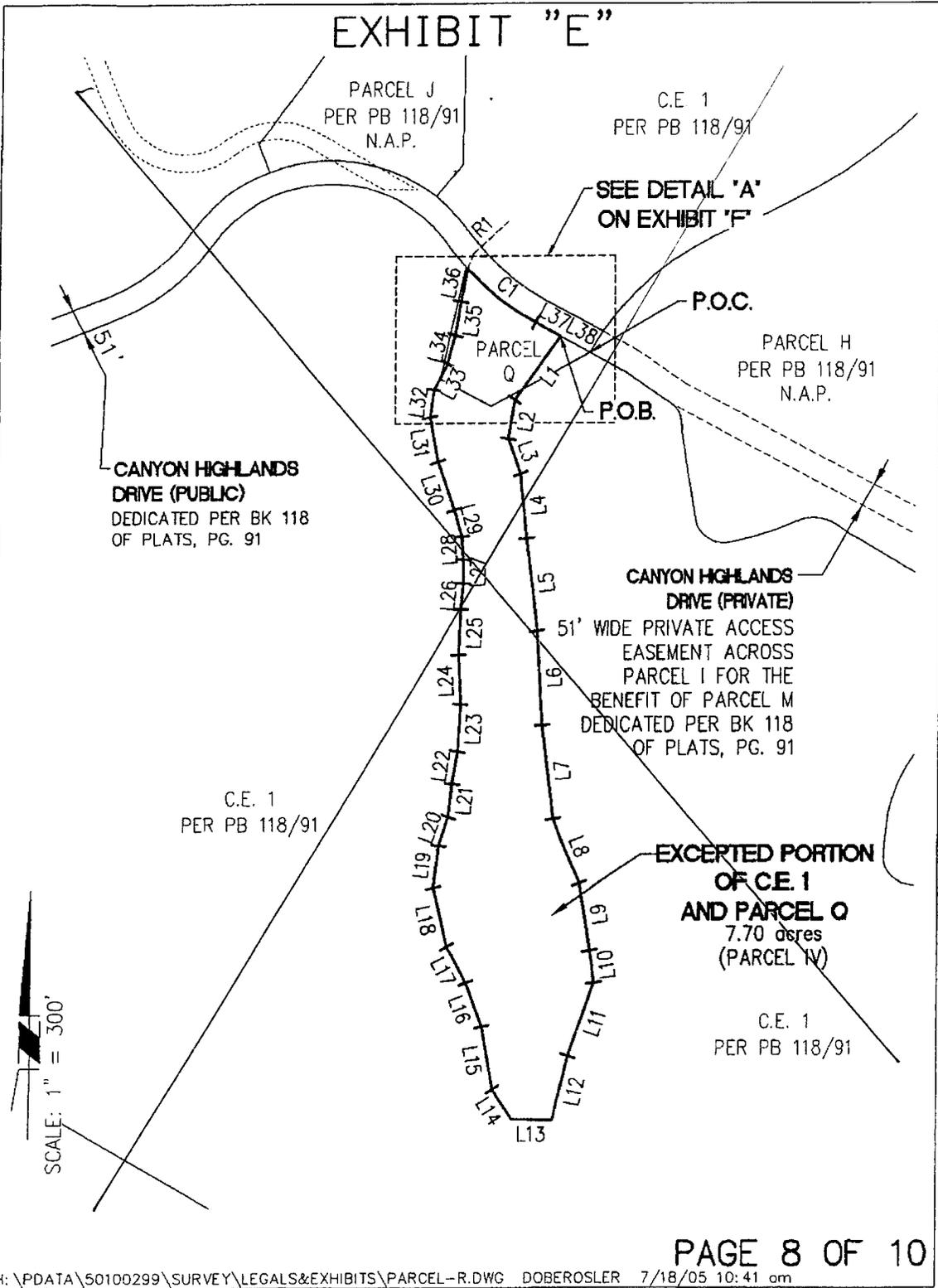


EXHIBIT "F"

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	551.00'	18°56'32"	182.16'
C2	551.00'	23°53'10"	229.71'
C3	551.00'	04°19'37"	41.61'
C4	551.00'	00°37'01"	5.93'

RADIAL TABLE	
NO.	BEARING
R1	N47°50'02"E
R2	N48°27'03"E

LINE TABLE		
NO.	BEARING	LENGTH
L1	N35°36'18"E	160.75'
L2	N09°29'31"E	82.61'
L3	N19°11'09"W	79.21'
L4	N05°22'43"W	138.85'
L5	N06°36'09"W	198.11'
L6	N03°28'49"W	196.34'
L7	N06°49'38"W	200.79'
L8	N21°15'37"W	149.41'
L9	N08°59'07"W	143.84'
L10	N07°45'23"W	67.59'
L11	N18°41'26"E	162.94'
L12	N12°38'46"E	140.17'
L13	N88°28'31"W	84.37'
L14	N32°15'36"W	76.05'
L15	N10°06'32"W	134.05'
L16	N19°41'27"W	99.15'
L17	N28°28'10"W	85.54'
L18	N13°11'03"W	127.50'
L19	N06°20'34"E	94.66'
L20	N18°36'35"E	62.38'
L21	N05°39'01"E	71.41'
L22	N09°17'05"E	68.16'
L23	N03°19'08"E	99.96'
L24	N02°38'09"W	103.68'
L25	N02°50'35"E	94.90'
L26	N04°11'12"E	55.27'
L27	N00°47'48"E	50.22'
L28	N04°27'37"W	49.29'
L29	N16°25'17"W	59.36'
L30	N18°40'04"W	109.31'
L31	N10°12'26"W	95.42'
L32	N08°14'58"E	58.34'
L33	N27°25'22"E	60.40'
L34	N15°21'21"E	60.97'
L35	N09°29'44"E	71.63'
L36	N11°37'14"E	68.79'
L37	N61°06'31"W	59.31'
L38	N61°06'31"W	69.59'
L39	N12°54'45"E	238.21'
L40	N61°49'00"W	121.42'
L41	N61°44'36"E	232.97'

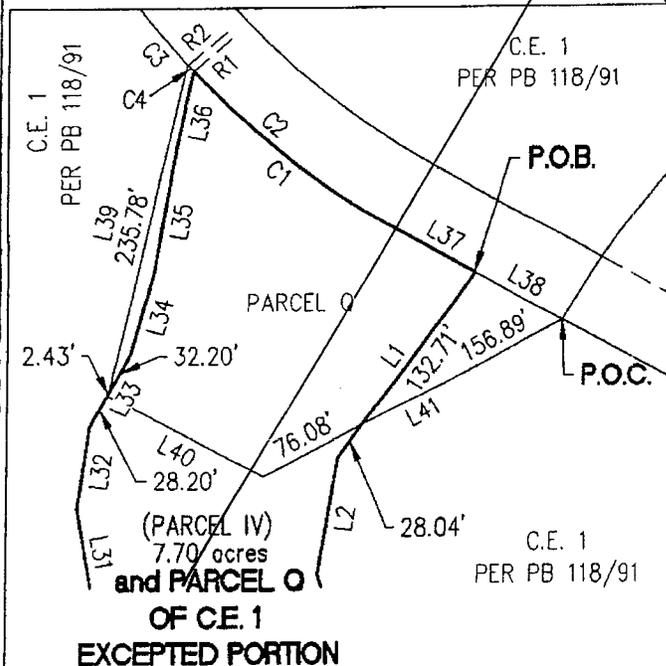
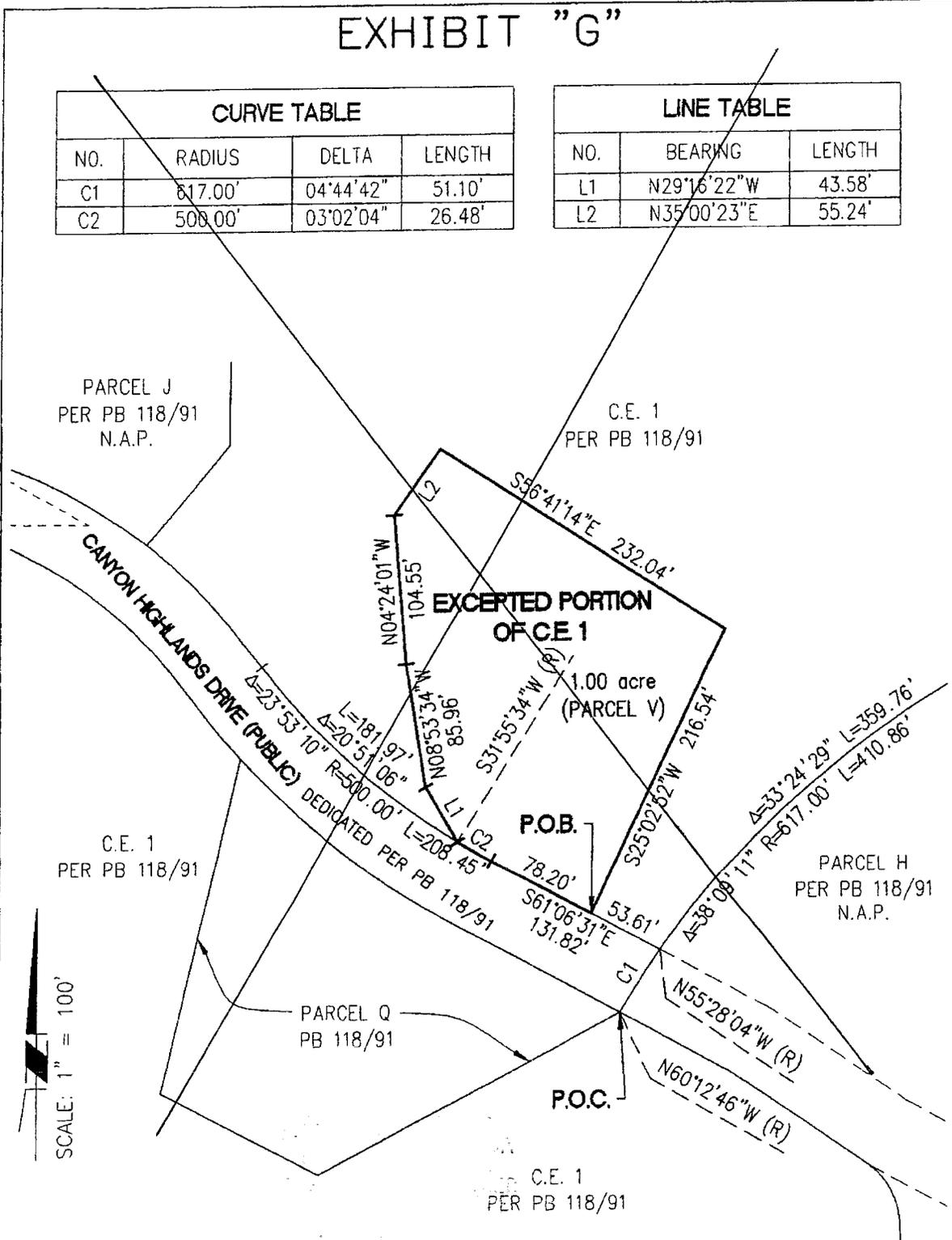


EXHIBIT "G"

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	617.00'	04°44'42"	51.10'
C2	500.00'	03°02'04"	26.48'

LINE TABLE		
NO.	BEARING	LENGTH
L1	N29°16'22"W	43.58'
L2	N35°00'23"E	55.24'



SCALE: 1" = 100'

State of Nevada Declaration of Value

1. Assessor's Parcel Number(s)

- a) 178-32-110-002, 003 & 004; 178-32-210-005, 006 & 007
- b) 178-32-314-002; 178-32-710-001; 178-32-810-001 & 002
- c) 178-31-513-005; 178-31-616-003; 178-31-719-001
- d) 178-29-412-002 & 004, 178-31-697-003 & 178-32-297-001

2. Type of Property:

- a) Vacant Land
- b) Single Fam. Resi
- c) Condo/Twnhse
- d) 2-4 Plex
- e) Apt. Bldg.
- f) Comm'l/Ind'l
- g) Agricultural
- h) Mobile Home
- i) Other _____

FOR RECORDER'S OPTIONAL USE ONLY	
Documentation/Instrument #:	_____
Book: _____	Page: _____
Date of Recording: _____	_____
Notes:	M

3. Total Value/Sales Price of Property: \$[]
 Deed in Lieu of Foreclosure Only (value of property): ()
 Transfer Tax Value: \$[]
 Real Property Transfer Tax Due: \$[]

4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090, Section: 2
- b. Explain Reason for Exemption: Transfer to a Government Agency

5. Partial Interest: Percentage being transferred: []%

 The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: [Signature] Capacity Trustee
 Richard C. MacDonald

SELLER (GRANTOR) INFORMATION (REQUIRED)

Print Name: The 42145 Trust
 Address: 1730 W. Horizon Ridge Parkway, #100
 City: Henderson
 State: Nevada Zip: 89012

BUYER (GRANTEE) INFORMATION (REQUIRED)

Print Name: The City of Henderson
 Address: 240 Water Street
 City: Henderson
 State: Nevada Zip: 89015

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Richard C. MacDonald
 Address: 1730 W. Horizon Ridge Parkway, #100
 City/State/Zip: Nevada, Nevada 89012

Escrow #: 04154361

1275

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)
 a) 178-29-412-002, 178-31-513-005
 b) 178-31-697-003, 178-31-719-001
 c) 178-32-110-002, 178-32-297-001
 d) 178-32-314-002, 178-32-710-001

2. Type of Property: 178-32-810-002
 a) Vacant Land b) Single Fam. Res.
 c) Condo/Twnhse d) 2-4 Plex
 e) Apt. Bldg f) Comm'l/Ind'l
 g) Agricultural h) Mobile Home
 Other

FOR RECORDER'S OPTIONAL USE ONLY	
Book: _____	Page: _____
Date of Recording: _____	
Notes: _____	

3. Total Value/Sales Price of Property \$ _____
 Deed in Lieu of Foreclosure Only (value of property) (_____)
 Transfer Tax Value: \$ _____
 Real Property Transfer Tax Due \$ _____

4. If Exemption Claimed:

- a. Transfer Tax Exemption per NRS 375.090, Section 2 and 3
 b. Explain Reason for Exemption: City of Henderson is a Municipal Corporation of the State and exempt. Re-record document to correct descript.
 5. Partial Interest: Percentage being transferred: _____% 20050902:01275

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature Mary E Baer Capacity Real Property Agent
 Signature _____ Capacity _____

SELLER (GRANTOR) INFORMATION
(REQUIRED)
 Print Name: The 42145 Trust
 Address: 1730 W. Horizon Ridge Pkwy #100
 City: Henderson
 State: NV Zip: 89012

BUYER (GRANTEE) INFORMATION
(REQUIRED)
 Print Name: City of Henderson
 Address: P.O. Box 95050
 City: Henderson
 State: NV Zip: 89009-5050

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: _____ Escrow #: _____
 Address: _____
 City: _____ State: _____ Zip: _____

AN ADDITIONAL RECORDING FEE OF \$1.00 WILL APPLY FOR EACH DECLARATION OF VALUE FORM PRESENTED TO CLARK COUNTY, EFFECTIVE JUNE 1, 2004.

2450

Exhibit "B"

CITY OF HENDERSON

OFF-SITE IMPROVEMENT BOND ESTIMATE & INSPECTION INVENTORY AND FEE FORM (REV 01/01/01)

PERMIT NUMBER: PCVL 2005870012

DATE: 10-MAY-05

PROJECT NAME: CANYONS @ MACDONALD RANCH

CALCULATED BY:

ENGINEERING COMPANY: RBF CONSULTING

#OF LOTS: ACREAGE:

DEVELOPER: 42145 TRUST ETAL

PLAN #06924

Item	Description	Unit Qty	Unit Price	Quantity	Total Price
1	2" ASPHALT	SY	4.65	30,375	141,243.75
2	3" ASPHALT	SY	4.55		.00
3	4" ASPHALT	SY	5.00	9,685	58,110.00
4	5" ASPHALT	SY	7.00	3,150	22,050.00
5	TYPE I AND/OR TYPE II AGGREGATE BASE	CY	10.50	32,620	342,510.00
6	3/4" OPEN GRADE	SY	1.50	14,600	21,900.00
7	EXCAVATION & EMBANKMENTS IN ROW	CY	2.50	490,000	1,225,000.00
8	CURB & GUTTER	LF	5.40	19,560	105,732.00
9	DRIVEWAY	SF	3.50		.00
10	CONCRETE VALLEY GUTTER	SF	5.00	4,830	24,150.00
11	4" CONCRETE SIDEWALK	SF	2.15	97,900	210,485.00
12	SERVICE POINT FOR STREETLIGHTS	EA	2,000.00	2	4,000.00
13	LIGHT STANDARD (SINGLE LUMINAIRE)	EA	1,900.00	50	95,000.00
14	LIGHT STANDARD (DOUBLE LUMINAIRE)	EA	2,400.00	18	43,200.00
15	4" SEWER & SEWER LATERAL	LF	10.00	200	2,000.00
16	8" SEWER	LF	15.00	9,950	149,250.00
17	10" SEWER	LF	20.00		.00
18	12" SEWER	LF	30.00		.00
19	SEWER MANHOLE UNDER 6'	EA	900.00		.00
20	SEWER MANHOLE OVER 6'	EA	1,800.00	55	99,000.00
21	WATER SERVICES TO LOT	EA	500.00		.00
22	8" WATER	LF	12.50		.00
23	8" WATER	LF	15.00		.00
24	10" WATER	LF	20.00	850	17,000.00
25	12" WATER	LF	25.00	2,660	66,500.00
26	16" WATER	LF	35.00	12,050	421,750.00
27	FIRE HYDRANT & LATERAL	EA	1,800.00	25	45,000.00
28	FIRE HYDRANT RELOCATION	EA	1,500.00		.00
29	UTILITY TRENCH (STREETLIGHT CONDUIT)	LF	5.00		.00
30	STREET & STOP SIGNS	EA	80.00		.00
31	SURVEY MONUMENTS	EA	225.00		.00
32	4" SEWER & LATERAL IN PAVED AREA	LF	15.00		.00
33	6" SEWER IN PAVED AREA	LF	25.00	500	12,500.00
34	10" SEWER IN PAVED AREA	LF	30.00		.00
35	6" WATER IN PAVED AREA	LF	18.75		.00
36	8" WATER IN PAVED AREA	LF	22.50		.00
37	10" WATER IN PAVED AREA	LF	30.00	175	5,250.00
38	12" WATER IN PAVED AREA	LF	40.00	100	4,000.00
39	16" WATER IN PAVED AREA	LF	50.00	1,050	52,500.00

CITY OF HENDERSON

OFF-SITE IMPROVEMENT BOND ESTIMATE & INSPECTION INVENTORY AND FEE FORM (REV 01/01/01)

Item	Description	Unit Qty	Unit Price	Quantity	Total Price
40	REMOVAL OF EXISTING 10" WATER	LF	10.00	350	3,500.00
41	4" CONCRETE MEDIAN		2.15	22,000	47,300.00
42	PAVEMENT MARKINGS	LS	15,000.00	1	15,000.00
43	10" GATE VALVE	EA	1,000.00	1	1,000.00
44	12" GATE VALVE	EA	1,500.00	13	19,500.00
45	16" BUTTERFLY VALVE	EA	3,500.00	26	91,000.00
46	2" COMBINATION AIR VALVE ASSEMBLY	EA	1,000.00	7	7,000.00
47	4" COMBINATION AIR VALVE ASSEMBLY	EA	1,800.00	13	23,400.00
48	2" BLOW-OFF ASSEMBLY	EA	800.00	6	4,800.00
49	6" BLOW-OFF ASSEMBLY	EA	1,500.00	17	25,500.00
50	24" STEEL CASING	LF	150.00	60	9,000.00
51	30" STEEL CASING	LF	200.00	65	13,000.00
52	ENERGY DISSIPATOR	EA	10,000.00	3	30,000.00
53	4" FIBER OPTIC CONDUIT W/PULLBOXES	LF	10.00	2,500	25,000.00
54	OFFSITE SEWER UPGRADES	LS	100,000.00	1	100,000.00
55	BIKE PATH/TRAIL	LF	.00		.00
56	BORE & CASING	LF	.00		.00
57	RCB CULVERT	LF	.00		.00
58	DRAINAGE CHANNEL IMPROVEMENTS	LF	.00		.00
59	DAM	CY	.00		.00
60	DETENTION BASIN	GAL	.00		.00
61	TYPE "A" DROP INLET	EA	5,000.00	12	60,000.00
62	HEADWALLS	EA	5,000.00	12	60,000.00
63	HEADWORKS	EA	.00		.00
64	LIFT STATION	MGD	.00		.00
65	MODIFIED TYPE "C" DROP INLET	EA	.00		.00
66	PARK IMPROVEMENTS	LS	.00		.00
67	PRESSURE REDUCING VALVE (PRV)	LS	95,000.00	1	95,000.00
68	PUMP STATION	LS	*****	1	1,000,000.00
69	RAILROAD TRACK SIGNAL & CROSSING IMPS	LS	.00		.00
	INVENTORY				
70	18" RCP STORM DRAIN PIPE	LF	40.00	437	17,480.00
71	24" RCP STORM DRAIN PIPE	LF	.00		.00
72	30" RCP STORM DRAIN PIPE	LF	.00		.00
73	36" RCP STORM DRAIN PIPE	LF	70.00	1,535	107,450.00
74	42" RCP STORM DRAIN PIPE	LF	90.00	210	18,900.00
75	48" RCP STORM DRAIN PIPE	LF	105.00	542	56,910.00
76	54" RCP STORM DRAIN PIPE	LF	.00		.00
77	60" RCP STORM DRAIN PIPE	LF	140.00	1,044	146,160.00

CITY OF HENDERSON

OFF-SITE IMPROVEMENT BOND ESTIMATE & INSPECTION INVENTORY AND FEE FORM (REV 01/01/01)

Item	Description	Unit Qty	Unit Price	Quantity	Total Price
78	48" TYPE I STORM DRAIN MANHOLE	EA	3,000.00	3	9,000.00
79	60" TYPE I STORM DRAIN MANHOLE	EA	4,000.00	24	96,000.00
80	48" TYPE II STORM DRAIN MANHOLE	EA	.00		.00
81	60" TYPE III STORM DRAIN MANHOLE	EA	.00		.00
82	TRAFFIC SIGNAL IMPROVEMENTS	LS	20,000.00	1	20,000.00
83	TUNNEL	LF	.00		.00
84	WINGWALLS	EA	.00		.00
85	WATER RESERVOIR	LS	750,000.00	1	750,000.00
Total Estimated Construction Cost:					\$ 6,020,030.75

CITY OF HENDERSON

OFF-SITE IMPROVEMENT BOND ESTIMATE & INSPECTION INVENTORY AND FEE FORM (REV 01/01/01)

INSPECTION FEES (Based on Total Construction Cost):

First \$100,000 (4.0%)	\$ 4,000.00
Over \$100,000 (1.9%)	\$ 112,480.58
Plan Check (2.5%)	\$ 150,500.77
Plan Reproduction Fee	
# sheets = 64 x \$15	\$ 960.00
TOTAL #1	\$ 267,941.35
Imp. Agreements	\$ 25.00
Fire Hydrant Fee	\$ 60.00
Fire Hydrant Review	
#hydrants = 25 x \$20	\$ 500.00
Fire Lane Fee	\$ 60.00
Fire Lane Plan Review Fee	\$ 40.00
Subtotal	\$ 685.00
2% Records Mgt. Fee	\$ 13.70
2% Technology Fee	\$ 13.70
TOTAL #2	\$ 712.40
SNWA Fees (see next page)	\$.00
SWHR Fees (see next page)	\$.00
2370 R-13 Refunding (see next page)	\$.00
2610 R-5 Refunding (see next page)	\$.00
2720 R-15 Refunding (see next page)	\$.00
TOTAL #3	\$.00
Private Insp. Fees (see Private fees form)	9611.86
TOTAL #4	9611.86
Initial Submittal Fee	\$.00
TOTAL FEES DUE CITY	\$ 278,295.61
(Total #1 + Total #2 + Total #3 + Total #4)	

TOTAL ESTIMATED CONSTRUCTION COST	\$ 6,020,030.75
Contingencies (10%)	\$ 602,003.08
TOTAL BOND REQUIRED	\$ 6,622,033.83

Computed by: _____
Date: _____
Checked by: _____
City of Henderson
Date: _____

FILE COPY

SUBDIVISION BOND

Bond No. 6346121

KNOW ALL MEN BY THESE PRESENTS, that we D.R. Horton, Inc.

6845 Escondido Street, Suite 105 Las Vegas, NV 89119

as Principal, and Safeco Insurance Company of America

authorized to do business in the State of NV, as Surety, are held and firmly bound unto

City of Henderson

as Obligee, in the penal sum of Six Million Six Hundred Twenty Two Thousand Thirty Three Dollars and Eighty Three

Cents (\$ 6,622,033.83) DOLLARS, lawful money of

the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, D.R. Horton, Inc.

has agreed to construct in The Canyons @ MacDonald Ranch

the following improvements: Offsite Improvements as listed on the Off-Site Improvement Bond Estimate from the City of Henderson dated May 3, 2005 and relating to Permit Number: PCVL 2005870012

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void; otherwise to remain in full force and effect.

Signed, sealed and dated this 4th day of May, 2005.

D.R. Horton, Inc.



POWER OF ATTORNEY

SAFECO INSURANCE COMPANY OF AMERICA
GENERAL INSURANCE COMPANY OF AMERICA
HOME OFFICE: SAFECO PLAZA
SEATTLE, WASHINGTON 98185

No. 6346121

KNOW ALL BY THESE PRESENTS:

That SAFECO INSURANCE COMPANY OF AMERICA and GENERAL INSURANCE COMPANY OF AMERICA, each a Washington corporation, does each hereby appoint Kimberly A. Tavernier

its true and lawful attorney(s)-in-fact, with full authority to execute on its behalf the following surety bond:

Surety Bond Number: 6346121
Principal: D.R. Horton, Inc.
Obligee: City of Henderson
Amount of Bond: See Bond Form

IN WITNESS WHEREOF, SAFECO INSURANCE COMPANY OF AMERICA and GENERAL INSURANCE COMPANY OF AMERICA have each executed and attested these presents

this 4th day of May, 2005

C.B. MEAD, SECRETARY

MIKE MCGAVICK, PRESIDENT

CERTIFICATE

Extract from the By-Laws of SAFECO INSURANCE COMPANY OF AMERICA and of GENERAL INSURANCE COMPANY OF AMERICA:

"Article V, Section 13 - FIDELITY AND SURETY BONDS ... the President, any Vice President, the Secretary, and any Assistant Vice President appointed for that purpose by the officer in charge of surety operations, shall each have authority to appoint individuals as attorneys-in-fact or under other appropriate titles with authority to execute on behalf of the company fidelity and surety bonds and other documents of similar character issued by the company in the course of its business... On any instrument making or evidencing such appointment, the signatures may be affixed by facsimile. On any instrument conferring such authority or on any bond or undertaking of the company, the seal, or a facsimile thereof, may be impressed or affixed or in any other manner reproduced; provided, however, that the seal shall not be necessary to the validity of any such instrument or undertaking."

Extract from a Resolution of the Board of Directors of SAFECO INSURANCE COMPANY OF AMERICA and of GENERAL INSURANCE COMPANY OF AMERICA adopted July 28, 1970.

"On any certificate executed by the Secretary or an assistant secretary of the Company setting out,

- (i) The provisions of Article V, Section 13 of the By-Laws, and
- (ii) A copy of the power-of-attorney appointment, executed pursuant thereto, and
- (iii) Certifying that said power-of-attorney appointment is in full force and effect,

the signature of the certifying officer may be by facsimile, and the seal of the Company may be a facsimile thereof."

I, R.A. Pierson, Secretary of SAFECO INSURANCE COMPANY OF AMERICA and of GENERAL INSURANCE COMPANY OF AMERICA, do hereby certify that the foregoing extracts of the By-Laws and of a Resolution of the Board of Directors of these corporations, and of a Power of Attorney issued pursuant thereto, are true and correct, and that both the By-Laws, the Resolution and the Power of Attorney are still in full force and effect

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the facsimile seal of said corporation

this 4th day of May, 2005



C.B. MEAD, SECRETARY

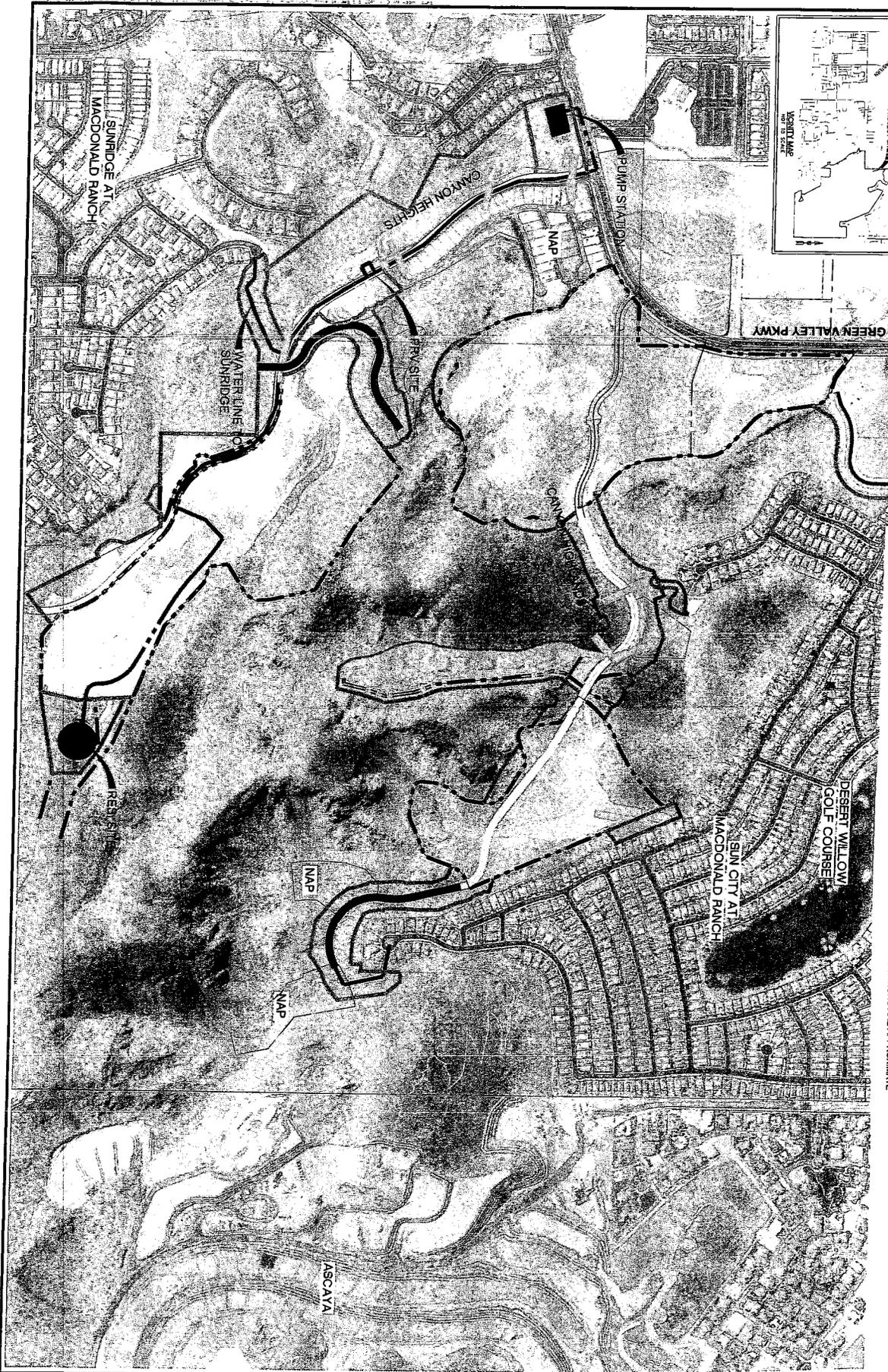
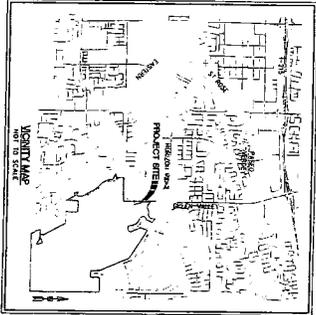
Exhibit "C"

The Canyons at MacDonald Ranch Improvements on City of Henderson Property

Map on file
in the Henderson City Clerk's Office

AGRW - CANYONS, LLC
THE CANYONS AT MACDONALD RANCH
IMPROVEMENT ON CITY OF HENDERSON
PROPERTY

- LEGEND**
- STREET
 - WATER
 - SEWER
 - DRAINAGE
 - STREET BY OTHERS MAY REQUIRE ADDITIONAL GRADING
 - GRADING AREA WITHIN CONSERVATION AREA
 - LOCATIONS ARE APPROXIMATE



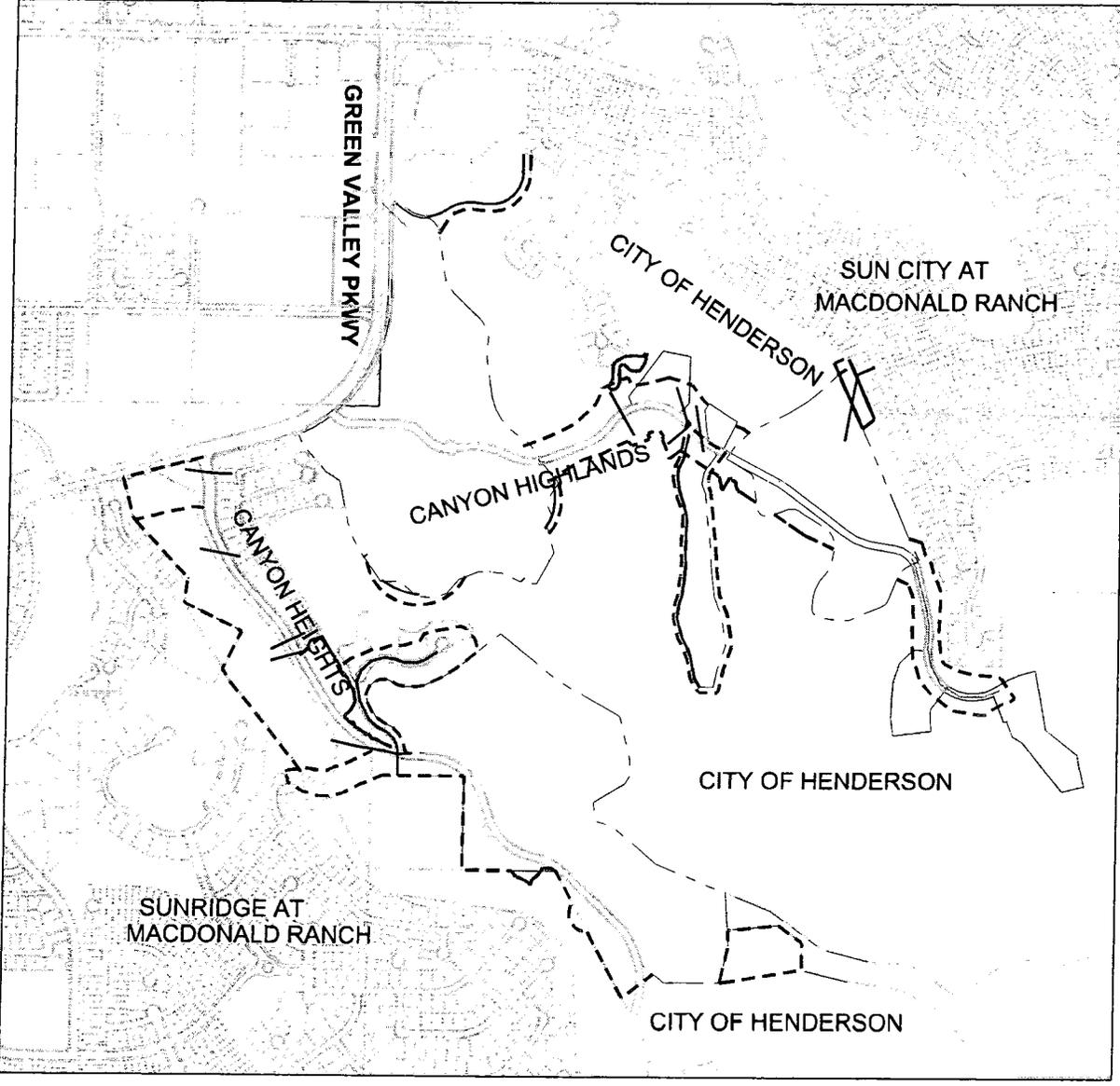
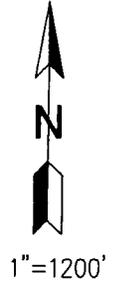
<p>SP-1 SHEET 1 OF 1</p>	<p>AGRW - CANYONS, LLC HENDERSON, NEVADA THE CANYONS AT MACDONALD RANCH IMPROVEMENTS ON CITY OF HENDERSON PROPERTY</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>JOB DATE</th> <th>APP.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DESCRIPTION	DATE	BY	JOB DATE	APP.																																																													<p>SLATER GROUP CONSULTING ENGINEERS & PLANNERS 5740 S. ARVILLE STREET #216, LAS VEGAS, NV 89119 PHONE (702) 284-6300 FAX (702) 284-5369</p>
NO.	DESCRIPTION	DATE	BY	JOB DATE	APP.																																																																

AGRW - CANYONS, LLC
THE CANYONS AT MACDONALD RANCH
IMPROVEMENT ON CITY OF HENDERSON
PROPERTY

LEGEND

- · — · — CANYONS BOUNDARY
- — — DRAINAGE
- - - - - DISTURBANCE / GRADING AREA WITHIN CONSERVATION AREA

** LOCATIONS ARE APPROXIMATE



AGRW - CANYONS, LLC
THE CANYONS AT MACDONALD RANCH
IMPROVEMENT ON CITY OF HENDERSON
PROPERTY

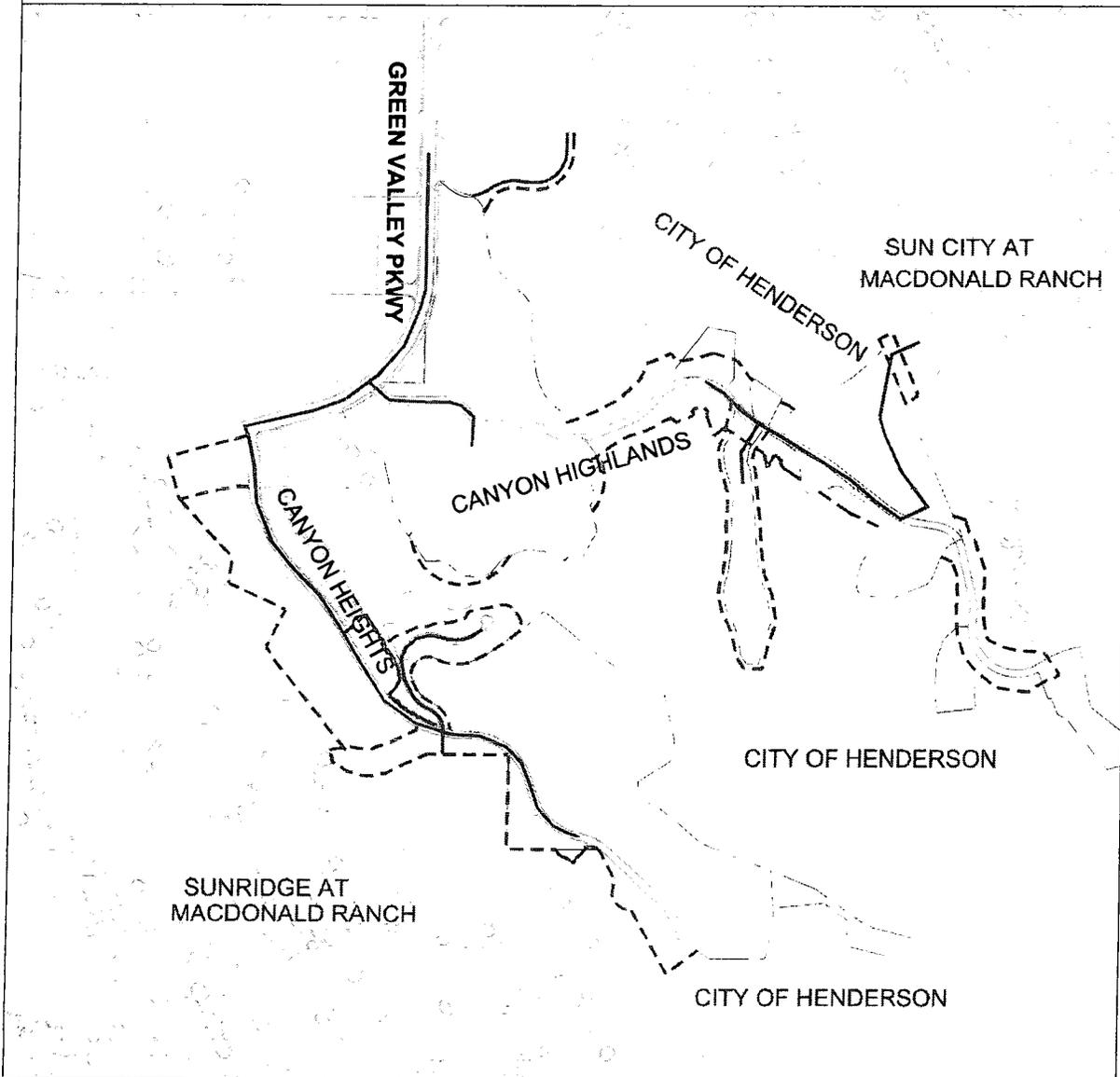
LEGEND

- CANYONS BOUNDARY
- SEWER
- DISTURBANCE / GRADING AREA WITHIN CONSERVATION AREA

** LOCATIONS ARE APPROXIMATE



1"=1200'



AGRW - CANYONS, LLC
THE CANYONS AT MACDONALD RANCH
IMPROVEMENT ON CITY OF HENDERSON
PROPERTY

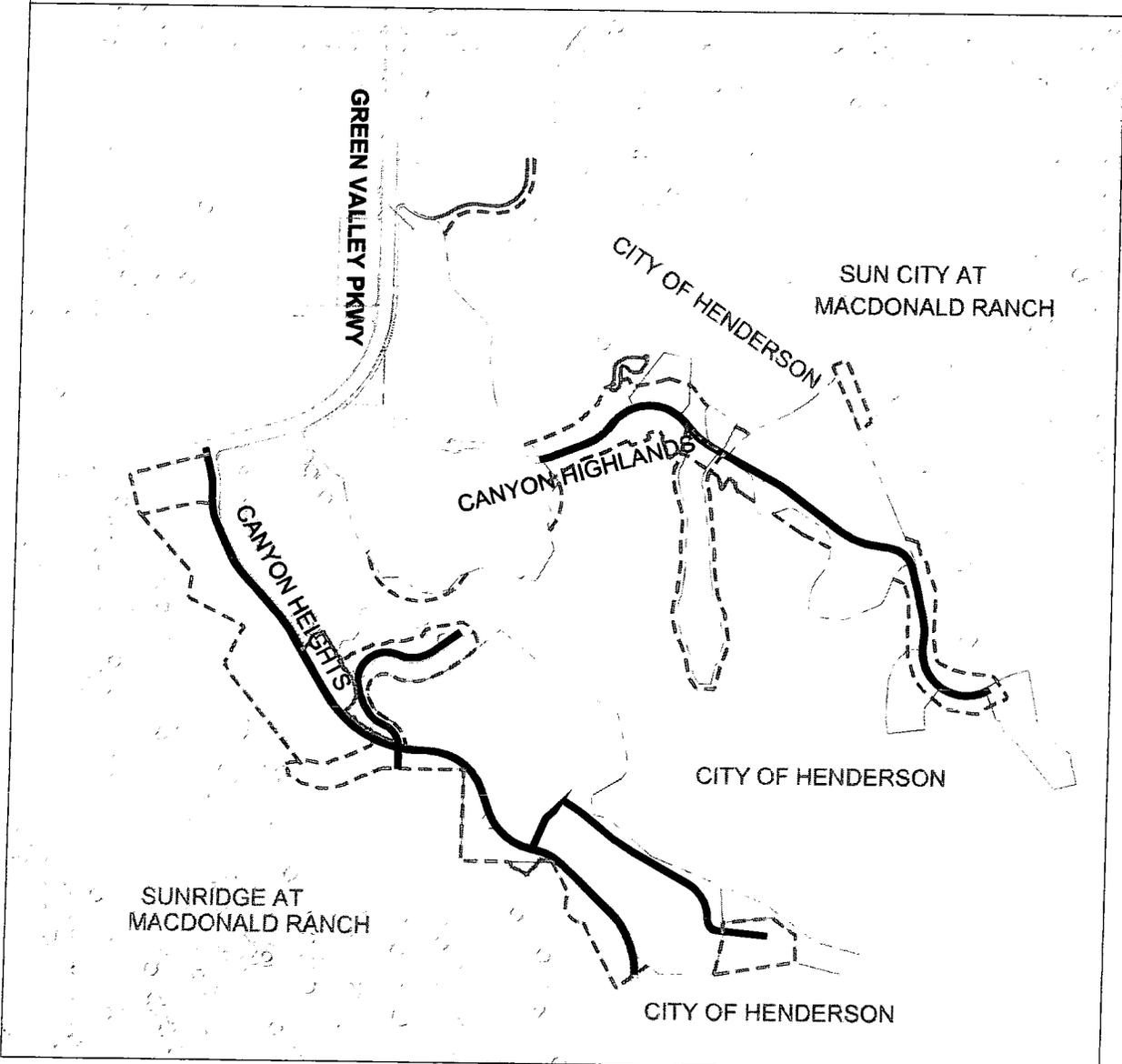
LEGEND

- CANYONS BOUNDARY
- ===== ROADWAYS
- - - - - DISTURBANCE / GRADING AREA WITHIN CONSERVATION AREA

** LOCATIONS ARE APPROXIMATE



1"=1200'



AGRW - CANYONS, LLC
THE CANYONS AT MACDONALD RANCH
IMPROVEMENT ON CITY OF HENDERSON
PROPERTY

LEGEND

- CANYONS BOUNDARY
- ===== WATER
- - - - - DISTURBANCE / GRADING AREA WITHIN CONSERVATION AREA

** LOCATIONS ARE APPROXIMATE



1"=1200'

